

LOCATION: PERDIDO SUN

QUARTERLY PMP INSPECTION

Performed By Michael Rhea

Date & Quarter Performed Q2: 5/28/2025

	Good	Fair	Poor	Comments (If Fair or Poor, Why?)
Exterior Walls (Overall)				list anomaly, locaton, isolated, typical, widespread
Sealants & Joints	x			Exterior Restoration completed May 2025. Sealants and Joints Replaced During Restoration.
Cladding	x			Exterior Restoration completed May 2025. Repairs to Cladding Made During Restoration.
Coatings	x			Exterior Restoration completed May 2025. New Coatings Applied During Restoration.

Windows (Overall)				
Glass	x			New Windows Installed 2024/2025 in Good Condition.
Sealants	x			New Windows Installed 2024/2025 in Good Condition.
Function	x			New Windows Installed 2024/2025 in Good Condition.
Weep Holes	x			New Windows Installed 2024/2025 in Good Condition.

Balcony Sliding Glass Doors (Overall)				
Glass		x		Existing SGDs in Fair Condition.
Sealants		x		Exterior Sealants were replaced as needed during the 2024/2025 Exterior Restoration. The remaining sealants that were not replaced are in typical fair condition.
Function		x		
Weep Holes		x		
Door Frames		x		

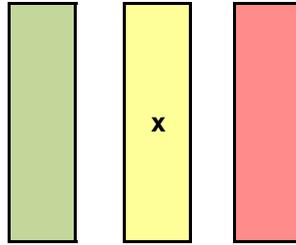
Common Walkway Doors (Entry, Storage, Stairwell)				
Sealants		x		
Function		x		
Door Frames		x	x	Metal and Wood Storage Doors in Typical Poor Condition. Metal Frames at Storage Doors and Stairwell Doors in Poor Condition. Metal Components exhibiting pitting and corrosion at Storage and Stairwell Doors. Entry Doors range from good to poor, some entry doors were new, some were fair, missing weatherstripping, and some were in poor condition, missing weatherstripping, damage at threshold, and damage to door paneling.

Common Walkways (Overall)				
Railings		x		Existing Railings in overall fair condition with newly applied coatings, isolated locations of dents and missing end caps.
Deck Coatings		x		Isolated locations with blistering or damage on the 11th, 7th, 4th, and 2nd Floors. Uncoated Sealant at Deck Coating Patch on 2nd Floor by Unit 202.
Concrete (Decks/Ceilings/Curbs)	x			Decks and Ceilings in good condition as Exterior Restoration performed any needed repairs.

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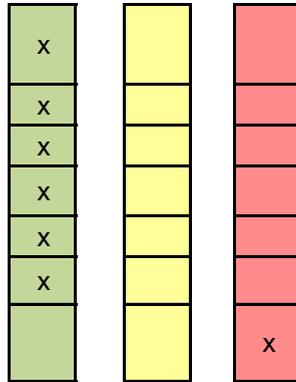
Stairwells (Overall)



Isolated areas of worn or damaged deck coating at the 2nd to ground flights of the East Most stairwell. Railings were in fair condition with isolated locations of pitting and corrosion on the railings. Isolated locations of existing stanchion pockets from the old railings still exist under existing base plates. East Stairwell contained more isolated anomalies than the West Stairwell.

Upper Low-Slope Roof (Overall)

Low Slope Membrane



Existing TPO Roof in overall good condition. Isolated locations of anomalies.

Flashings

Two (2) Isolated locations of loose TPO under flashing.

Drains

Parapet Cap

Sealants

HVAC units

Isolated locations of corroded hurricane straps at HVAC units.

Doors

Metal Frames and Doors at Roof Level in poor condition with corrosion at the jambs and door panel.

Lower Roof Levels (Overall)

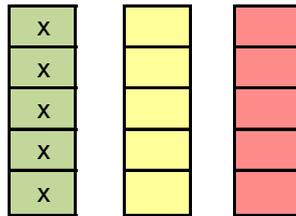
Low Slope Membrane

Flashings

Drains

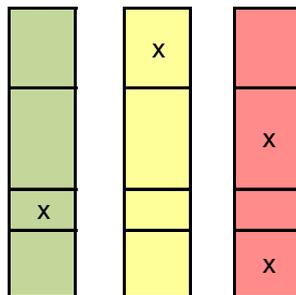
Parapet Cap

Sealants



Other

Dryer Vents - Common Walkway



Isolated: Dryer Vent Damaged / missing at Units 1100, 500, and 700. Typical: Corroded Fasteners at Dryer Vents on All Floors.

Stairway Doors

Isolated: Loose Door Frame at 8th Floor West Stairwell Door. Typical: Corroded Door Frames and Door Panels.

Exit Signage

Isolated: Missing Exit Sign on 10th Floor, East Side.

Roof Scuppers

BECI visual observation shows that there are roof overflow scuppers that are currently covered by the TPO Membrane.

Recent Projects/Activities Performed:

2024/2025 Exterior Restoration

BECI was notified of the following Issues:

Repaired issues from Last Inspection List Issues and if known, date of repair(s):

2023	Annual Roof	1.8.2	Remove debris around the roof drain and install a new drain cover.
2023	Annual Roof	1.8.3	Remove and replace the northwest most elevator door, louver, and damaged light fixture.
5/7/2024	Annual Roof	1.4.1	Investigate and repair 18 feet of cracking at coated concrete parapet .
5/7/2024	Annual Roof	1.4.4	Investigate and repair blistering of coating at the North parapet wall.

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10/14/2022	Balcony Railing Inspection	4.4.7	Missing Top Cap Fasteners at Underside of Horizontal Railings at Common Walkways and Private Balconies - Reference Balcony and Railing Inspection Anomaly Spreadsheet for locations.
10/14/2022	Balcony Railing Inspection	4.4.9	Isolated: Misaligned or Damaged Top Caps at ends of Horizontal Railings at Common Walkways and Private Balconies - Reference Balcony and Railing Inspection Anomaly Spreadsheet for locations.
10/14/2022	Balcony Railing Inspection	4.4.6	ALL: Corroded Base Plate Fasteners at Private Balconies and Common Walkways Railing Systems.
10/14/2022	Balcony Railing Inspection	4.4.8	Missing or Damaged End Caps at ends of Horizontal Railings at Common Walkways and Private Balconies - Reference Balcony and Railing Inspection Anomaly Spreadsheet for locations.

Running Action Item List from PMP Quarterly Inspections:

DATE	REPORT TYPE	PARAGRAPH	ACTION ITEM
10/14/2022	Balcony Railing Inspection	4.4.1	Both Stairwells: Isolated Cracked, Chipped, or Damaged Concrete. Isolated Chipped or Blistered Paint, and Isolated Rust Staining on Stairs.
10/14/2022	Balcony Railing Inspection	4.4.2	East Stairwell: Isolated Corroded and Damaged Railings. Isolated chipped or blistered paint and rust staining.
10/14/2022	Balcony Railing Inspection	4.4.3	West Stairwell: Corroded Stanchion Pockets and Surface Corrosion at Attachment Points.
2023	Annual Roof	1.8.1	Remove and replace all corroded hurricane straps at HVAC units.
2023	Annual Roof	1.8.2	Remove debris around the roof drain and install a new drain cover.
2023	Annual Roof	1.8.3	Remove and replace the northwest most elevator door, louver, and damaged light fixture.
5/7/2024	Annual Roof	1.4.1	Investigate and repair 18 feet of cracking at coated concrete parapet .
5/7/2024	Annual Roof	1.4.4	Investigate and repair blistering of coating at the North parapet wall.
5/7/2024	Annual Wall	1.4.5	Repair the deterioration and corrosion on the steel door frames of the ground floor maintenance rooms located at the Northwest corner of the building.
5/28/2025	Annual Wall	3.1.1	Northwest Corner – Repair further corrosion on steel door frames and hardware.
5/28/2025	Annual Wall	3.1.2	South Elevation – Replace missing perimeter sealant between door frame and cladding at single maintenance closet door.
5/28/2025	Annual Wall	3.1.3	Common Walkways – Replace missing dryer vent louver at Unit 1100. Replace damaged dryer vent louver at Unit 700.
5/28/2025	Annual Wall	3.1.4	Common Walkways – Remediate corrosion at metal storage doors, stairwell doors, and mechanical room doors.



Photo 1
East Elevation.



Photo 4
North Elevation - Common Walkways.



Photo 2
North Elevation.



Photo 5
West Elevation.



Photo 3
North Elevation.



Photo 6
West Elevation.



Photo 7
South Elevation.



Photo 10
North Elevation – New coatings and windows
in overall good condition.



Photo 8
South Elevation.



Photo 11
North Elevation – New coatings and windows
in overall good condition.



Photo 9
South Elevation.



Photo 12
North Elevation – New coatings and windows
in overall good condition.



Photo 13
North Elevation – New coatings and windows in overall good condition.



Photo 16
North Elevation – New coatings and windows in overall good condition.



Photo 14
North Elevation – New coatings and windows in overall good condition.



Photo 17
North Elevation – New coatings and windows in overall good condition.



Photo 15
North Elevation – New coatings and windows in overall good condition.



Photo 18
North Elevation – New coatings and windows in overall good condition.



Photo 19
North Elevation – New coatings in overall good condition.



Photo 22
West Elevation – New coatings and windows in overall good condition.



Photo 20
West Elevation – New coatings and windows in overall good condition.



Photo 23
East Elevation – New coatings and windows in overall good condition.



Photo 21
West Elevation – New coatings and windows in overall good condition.



Photo 24
East Elevation – New coatings and windows in overall good condition.



Photo 25
East Elevation – New coatings and windows in overall good condition



Photo 28
South Elevation – New coatings and windows in overall good condition.



Photo 26
East Elevation – New coatings and windows in overall good condition



Photo 29
South Elevation – New coatings and windows in overall good condition.



Photo 27
East Elevation – New coatings and windows in overall good condition



Photo 30
South Elevation – New coatings and windows in overall good condition.



Photo 31
South Elevation – New coatings and windows in overall good condition.



Photo 34
South Elevation – Perimeter sealant in good condition at door frame.



Photo 32
South Elevation – New coatings and windows in overall good condition.



Photo 35
South Elevation – Perimeter sealant in good condition at door frame.



Photo 33
South Elevation – New coatings and windows in overall good condition.



Photo 36
North Elevation – Common Walkways – Floor 11 – New coatings and windows in overall good condition.



Photo 37
North Elevation – Common Walkways – Floor 11 – New window in overall good condition.



Photo 40
North Elevation – Common Walkways – Floor 10 – New window in overall good condition.



Photo 38
North Elevation – Common Walkways – Floor 11 – New coatings in overall good condition.



Photo 41
North Elevation – Common Walkways – Floor 9 – New window in overall good condition.



Photo 39
North Elevation – Common Walkways – Floor 10 – New coatings in overall good condition.



Photo 42
North Elevation – Common Walkways – Floor 9 – New coatings in overall good condition.



Photo 43
North Elevation – Common Walkways – Floor 9 – New window in overall good condition.



Photo 46
North Elevation – Common Walkways – Floor 7 – New window in overall good condition.

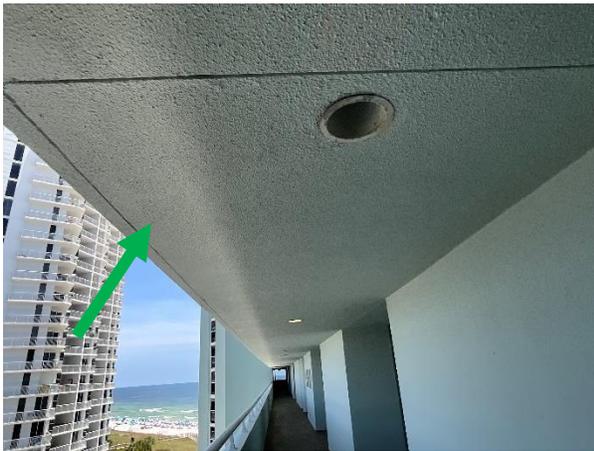


Photo 44
North Elevation – Common Walkways – Floor 7 – New coatings in overall good condition.

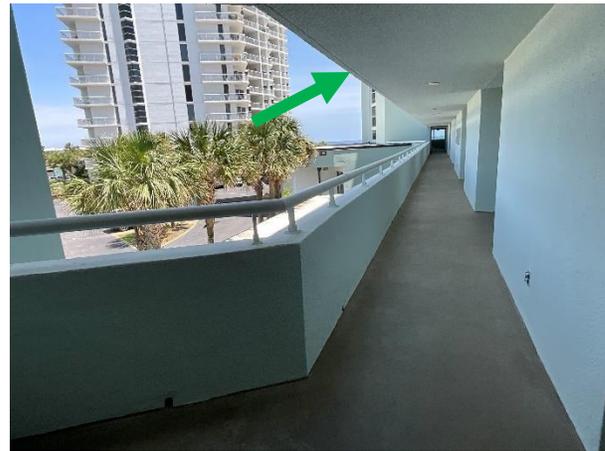


Photo 47
North Elevation – Common Walkways – Floor 2 – New coatings in overall good condition.

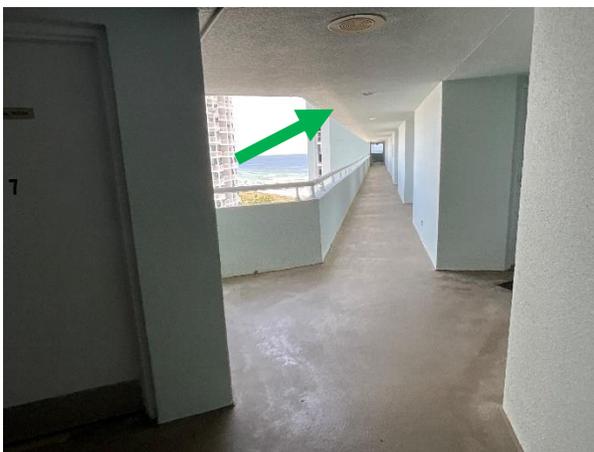


Photo 45
North Elevation – Common Walkways – Floor 7 – New coatings in overall good condition.



Photo 48
North Elevation – Steel door frames with minor-to-moderate corrosion present on door hardware and frames.

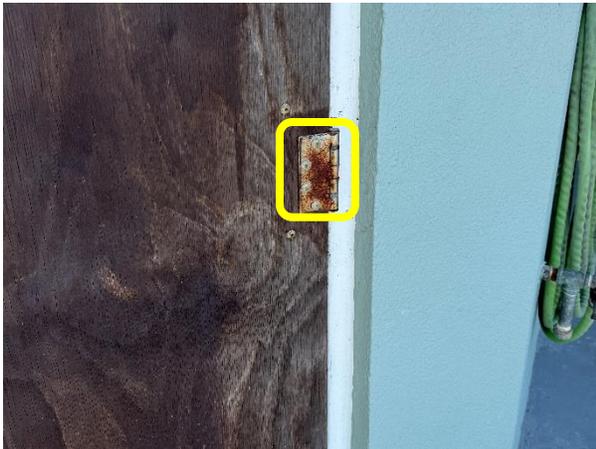


Photo 49
North Elevation – Moderate corrosion present on door hardware.



Photo 52
North Elevation – Minor corrosion present on door hardware.



Photo 50
North Elevation – Moderate corrosion present on door frame and hardware.



Photo 53
North Elevation – Minor corrosion present on door frame.



Photo 51
North Elevation – Moderate corrosion present on door frame.



Photo 54
North Elevation – Minor corrosion present on door hardware.



Photo 55
South Elevation – Missing perimeter sealant between door frame and stucco cladding.



Photo 58
North Elevation – Common Walkways – Floor 11 – Unit 1102 – Missing dryer vent louver.



Photo 56
South Elevation – Missing perimeter sealant between door frame and stucco cladding.



Photo 59
North Elevation – Common Walkways – Floor 11 – Unit 1102 – Missing dryer vent louver.



Photo 57
South Elevation – Missing perimeter sealant between door frame and stucco cladding.



Photo 60
North Elevation – Common Walkways – Floor 7 – Unit 702 – Damaged dryer vent louver.



Photo 61
North Elevation – Common Walkways – Floor 7 – Unit 702 – Damaged dryer vent louver.



Photo 64
North Elevation – Common Walkways – Floor 11 – Corrosion present at door hardware.



Photo 62
North Elevation – Common Walkways – Floor 11 – Corrosion present at door and frames.



Photo 65
North Elevation – Common Walkways – Floor 7 – Corrosion present at door hardware.



Photo 63
North Elevation – Common Walkways – Floor 11 – Corrosion present at door and frames.



Photo 66
North Elevation – Common Walkways – Floor 7 – Corrosion present at door hardware.



Photo 67
North Elevation – Common Walkways – Floor 7 – Corrosion present at door and frames.



Photo 70
North Elevation – Common Walkways – Floor 11 – Opening in wall at fire wall penetration.



Photo 68
North Elevation – Common Walkways – Floor 4 – Corrosion present at door and frames.



Photo 71
North Elevation – Common Walkways – Floor 10 – Opening in wall at fire wall penetration.



Photo 69
North Elevation – Common Walkways – Floor 11 – Opening in wall at fire wall penetration.



Photo 72
North Elevation – Common Walkways – Floor 10 – Opening in wall at fire wall penetration.



Photo 73
North Elevation – Common Walkways – Floor 9 – Opening in wall at fire wall penetration.



Photo 76
North Elevation – Common Walkways – Floor 4 – Isolated damaged deck coating.



Photo 74
North Elevation – Common Walkways – Floor 9 – Opening in wall at fire wall penetration.



Photo 77
North Elevation – Common Walkways – Floor 4 – Isolated damaged deck coating.



Photo 75
North Elevation – Common Walkways – Floor 11 – Isolated damaged deck coating.



Photo 78
North Elevation – Common Walkways – Floor 4 – Isolated damaged deck coating.



Photo 79
North Elevation – Common Walkways – Floor 4 – Isolated damaged deck coating.



Photo 82
East Stairwell – Floor 11 – Chipped and bubbled railing paint.



Photo 80
North Elevation – Common Walkways – Floor 2 – Isolated uncoated sealant.



Photo 83
East Stairwell – Floor 11 – Chipped and bubbled railing paint



Photo 81
North Elevation – Common Walkways – Floor 2 – Isolated uncoated sealant.



Photo 84
West Stairwell – Floor 11 – View of Stanchion Pockets unfilled and left under railings.



Photo 85
North Elevation – Common Walkways – Floor 2 – Isolated transition between rails unsealed.



Photo 88
Low-Slope Roof – Coping in overall good condition.

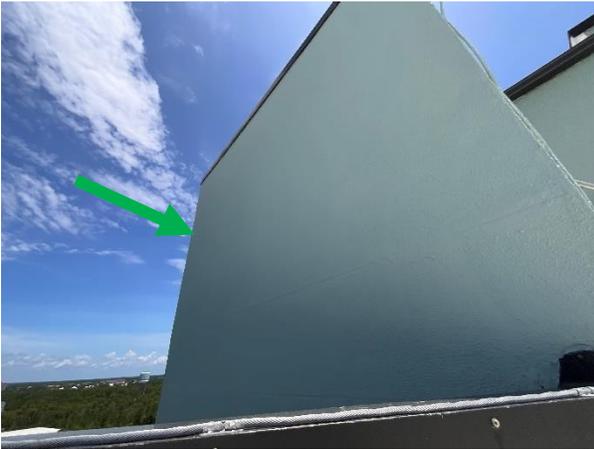


Photo 86
Low-Slope Roof – Stucco cladding in overall good condition.



Photo 89
Low-Slope Roof – Parapet wall in overall good condition.



Photo 87
Low-Slope Roof – Coping in overall good condition.



Photo 90
Low-Slope Roof – Single-ply membrane in overall good condition.



Photo 91
Low-Slope Roof – Single-ply membrane in overall good condition.



Photo 94
Low-Slope Roof – Parapet wall in good condition with no cracking or damage present.



Photo 92
Low-Slope Roof – HVAC racks and pipe flashing boots in overall good condition.



Photo 95
Low-Slope Roof – Drain cover installed at western most drain.



Photo 93
Low-Slope Roof – Parapet wall in good condition with no cracking or damage present.



Photo 96
Low-Slope Roof – View of louver perimeter sealed to the cladding with protective coating applied.



Photo 97
Low-Slope Roof – Corrosion present at HVAC unit hurricane strap.



Photo 100
Low-Slope Roof – Missing sealant at metal flashing interface.



Photo 98
Low-Slope Roof – Superficial skim coat applied over previously deteriorated material.



Photo 101
Low-Slope Roof – Missing sealant at metal flashing interface.



Photo 99
Low-Slope Roof – Superficial skim coat applied over previously deteriorated material.



Photo 102
Low-Slope Roof – Missing sealant at metal flashing interface.



Photo 103
Low-Slope Roof – Missing sealant at metal flashing interface.



Photo 106
Low-Slope Roof – Sealant at metal flashing interface applied over exposed plastic film.



Photo 104
Low-Slope Roof – Sealant at metal flashing interface applied over exposed plastic film.



Photo 107
Low-Slope Roof – Hole present due to missing fastener.



Photo 105
Low-Slope Roof – Sealant at metal flashing interface applied over exposed plastic film.



Photo 108
Low-Slope Roof – Typical void around AC conduit.



Photo 109
Low-Slope Roof – Typical void around AC conduit.



Photo 112
Low-Slope Roof – Loose and unbonded membrane at alcove.



Photo 110
Low-Slope Roof – Roof access door threshold sealant in poor condition.



Photo 113
Low-Slope Roof – Loose and unbonded membrane at alcove.



Photo 111
Low-Slope Roof – Roof access door threshold sealant in poor condition



Photo 114
Low-Slope Roof – Loose and unbonded membrane at Northeast elevator equipment door.

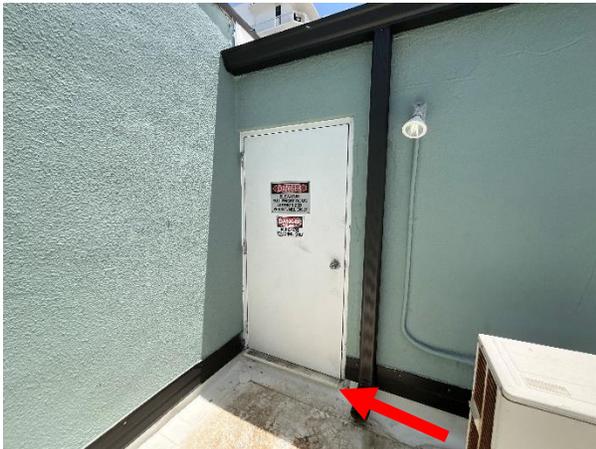


Photo 115
Low-Slope Roof – Loose and unbonded membrane at Northeast elevator equipment door.



Photo 118
Low-Slope Roof – Moderate corrosion on hardware of roof access door.



Photo 116
Low-Slope Roof – Minor corrosion on door and frame of MEP door.



Photo 119
Low-Slope Roof – Minor corrosion on hardware of roof access door.



Photo 117
Low-Slope Roof – Minor corrosion on door and frame of MEP door.



Photo 120
Low-Slope Roof – Minor corrosion on frame of roof access door.

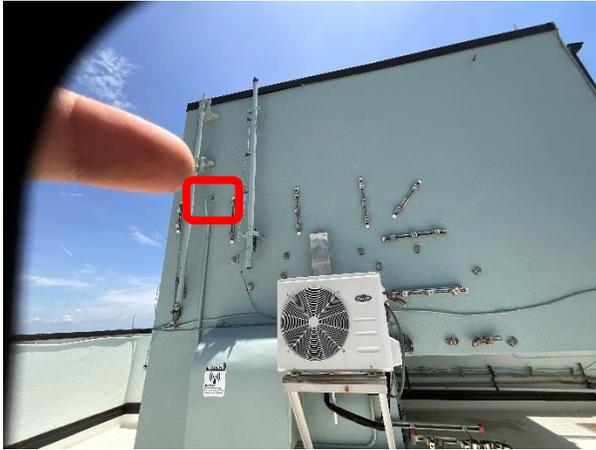


Photo 121
Low-Slope Roof – Isolated unsealed wall penetration.

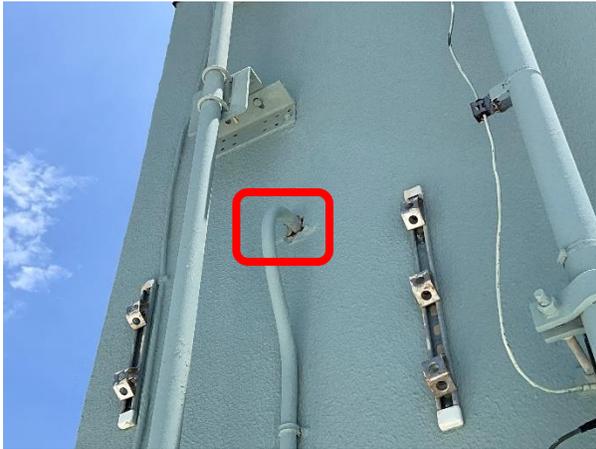


Photo 122
Low-Slope Roof – Isolated unsealed wall penetration.

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