



PENSACOLA

June 13, 2024

Perdido Sun Condominium
13753 Perdido Key Drive
Pensacola, FL 32507

Attention: Ms. Tammy Mercer, CAM
Regarding: Perdido Sun Condominium – Phase I Milestone Inspection
Ms. Mercer,

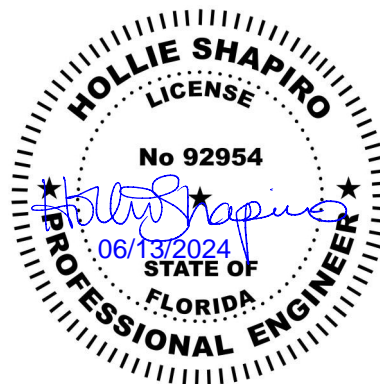
Pursuant to the request, and as part of the Phase I Milestone Inspection, **BE CI – Pensacola** has completed an on-site limited visual, non-destructive condition survey of the structural components at the Perdido Sun Condominium, in accordance with Florida Statute 553.899 and Florida Senate Bill 154. Chase Darhower, FAA sUAS, and Melanie Johnson, FAA sUAS with BE CI, conducted the Phase I Milestone Inspection on November 8, 2023. This report consists of four (4) sections: Part 1, an Executive Summary section that gives the reader an overall understanding and results of our inspection; Part 2, an Observations and Opinions section that provides a summary of the components observed while on-site; Part 3, a Limitations of Report section; and Part 4, a Conclusions and Recommendations section that summarizes our findings, overall recommendations, and provides our recommended immediate next steps.

This inspection aimed to verify the safety and adequacy of the structural components of the building, as required by Florida Statute 553.899 and Florida Senate Bill 154. There are two possible phases of this Milestone Inspection: a Phase I Inspection and a Phase II Inspection, respectively. If the building is deemed to pass Phase I by the Engineer or Architect performing the inspection, then a Phase II Inspection will not be required. If a building does not pass the first inspection phase, the building is required to undergo the second inspection phase, which will include selective destructive demolition, as deemed necessary by the Engineer or Architect. Based on visual observations performed at Perdido Sun Condominium, BE-CI is of the opinion that a Phase II Milestone Inspection is **not required at this time**. The following sections will document the results of our observations and recommendations regarding the typical conditions and anomalies we have noted.

Respectfully Submitted,

BE CI – PENSACOLA

Chase Darhower, FAA sUAS
Project Manager I



Hollie Shapiro, PE
Senior Project Engineer

Attachments:
Appendix A – Summary of Report (1 Page),
Appendix B – Photo Exhibits (3 Pages).

A SENSIBLE APPROACH TO BUILDING ENCLOSURE SOLUTIONS

PART 1 – EXECUTIVE SUMMARY

1.1 BUILDING HISTORY

Originally built in 1985, Perdido Sun Condominium is a 12-story condominium building consisting of elevated concrete slabs, steel-reinforced concrete columns, metal framed infill walls, approximately 1.7% EIFS cladding and 98.3% stucco cladding, and a low slope single ply roof.

1.2 PURPOSE AND SCOPE

The purpose of the Phase I Milestone Inspection was to visually observe the general and typical overt and existing conditions related to the building's structural components and components affecting the structural integrity of the building, as enumerated in Florida Statute 553.899 and Florida Senate Bill 154, including but not limited to exterior walls, cladding systems, sheer walls, demising walls, common walkway, stairs, windows, sliding glass doors, columns, and beams. Overall recommendations for the discussed anomalies have been provided in *italic font* throughout the report. We performed visual observations at all building elevations from the ground level, common walkways, and roof. Visual observations were performed at typical and overt conditions, including common walkways, exterior walls, roofs, one (1) individual unit to observe the interior window conditions, and any other observable exterior concrete surfaces.

1.3 CURRENT PROJECTS / REPORTED AND KNOWN ISSUES

At the time of the site visit, no known leaks or other issues of concern were reported by Management.

PART 2 – OBSERVATIONS AND OPINIONS

2.1 ANOMALIES OBSERVED:

While on-site, BECI observed several anomalies that are in need of remediation; however, they are not currently affecting the immediate structural safety and adequacy of the building. If left unaddressed, these items will continue to deteriorate over time, which could affect the safety and adequacy of the building's structural components in the future. Below are our recommendations to resolve these anomalies:

2.1.1 At the south elevation windows, BECI observed deteriorated perimeter sealants and deteriorated snap in glazing sealants (Reference Photo Exhibit Nos. 2 through 4). Window perimeter sealants help create a barrier against water infiltration, preventing leaks during rainstorms and protecting the interior from water damage. Snap-in glazing sealants are used specifically for sealing the edges of glass panes within window frames. ***BECI recommends hiring a licensed Florida contractor to remove and replace deteriorated window perimeter sealants and snap in glazing sealant within the next year.*** This will help prevent water intrusion through these voids and into the building envelope.

2.1.2 BECI observed isolated locations of failed coatings at the north and south elevations (Reference Photo Exhibit Nos. 5 through 7). Coatings are an important aspect of the building envelope, which serves as the first line of defense against moisture intrusion. Cracks, peeling, or deterioration in the coatings can lead to water infiltration. Properly maintained coatings protect the building's exterior materials from weathering and degradation, thereby prolonging their lifespan. ***BECI recommends that the isolated***

locations of failed coatings along the north and south elevations of the building be repaired by a licensed Florida contractor within the next year. This will help prevent further cladding deterioration or damage.

- 2.1.3 BECI observed isolated delaminated EIFS cladding on East and West elevations of the first floor (Reference Photo Exhibit Nos. 8 through 11). The primary function of EIFS is to provide an insulating and weather-resistant barrier. When delamination occurs, it compromises this barrier, allowing water to penetrate the layers of the cladding system. Addressing EIFS delamination promptly can prevent more extensive and costly repairs in the future. **BECI recommends hiring a licensed Florida contractor to remove and replace the isolated EIFS cladding with the next coating cycle.** This will help prevent further cladding deterioration or damage.
- 2.1.4 BECI also observed stucco cracks and delaminated stucco cladding on the Ground floor south elevation and at the porte-cochere column (Reference Photo Exhibit Nos. 12 and 13). Delaminated cladding often appears as bulges or depressions, further marring the visual integrity of the structure. Buildings with visible stucco damage can lose value due to perceived neglect with potential underlying issues. Fixing stucco issues promptly can prevent more extensive and costly repairs in the future. **BECI recommends a licensed Florida Contractor repair the cracked and delaminated stucco areas with the next coating cycle.** This will help prevent further cladding and coating damage.
- 2.1.5 BECI observed widespread minor corrosion at common walkway storage doors (Reference Photo Exhibit Nos. 14 and 15). **BECI recommends hiring a licensed Florida contractor to treat mild corrosion locations within the next one to two (1-2) years.** If left untreated, the storage doors structural components could become compromised.

PART 3 – LIMITATIONS OF REPORT

- 3.1 Observations and data presented in this report were obtained from a review of relevant documents, a visual investigation of the as-built conditions, and information (written and verbal) supplied by others.
- 3.2 This report does not comprehensively investigate every failure, deficiency, and damaged component observed. It represents our professional opinion regarding the conditions we have examined. We reserve the right to amend this report at any time if, in our opinion, amendments are warranted based on any additional information, physical data, or evidence that becomes available.
- 3.3 The information provided by BECI included in this report is not meant to be a guarantee or warranty. The opinions in this report are based primarily on a visual examination and testing of reasonably accessible building systems. Therefore, we assume no responsibility for items that were not examined. BECI is not responsible for any restoration work that may need to be performed after our testing.
- 3.4 We have prepared this report exclusively for our Client and local Building Officials. Any use of this report by other individuals (s) without our written consent is prohibited. Should another individual rely on this report without our consent, they shall indemnify BECI from any damages, losses, or expenses they may incur due to its use.

PART 4 – CONCLUSIONS AND RECOMMENDATIONS

- 4.1 Based upon our visual observations of Perdido Sun Condominium at our site visit, we do not recommend a Phase II Milestone Inspection. BECI is of the opinion that the structural components of Perdido Sun Condominium are of safe and adequate performance.
- 4.2 BECI recommends that a licensed Florida contractor remediate the anomalies enumerated above as soon as possible to prevent degradation of the structural components over time.
- 4.3 Before a restoration effort is scheduled or implemented, a scope of work identifying proper methods of restoration and materials to be used should be prepared by a design professional. It is fair to assume that the deficiencies observed result in an undetermined amount of damage or deterioration to the building and its underlying building components. The restoration documents should account for these possible damages or deterioration. BECI would be glad to assist in developing such restoration documents in the future if a restoration of the noted anomalies is to be completed.



PENSACOLA

APPENDIX A – SUMMARY OF REPORT

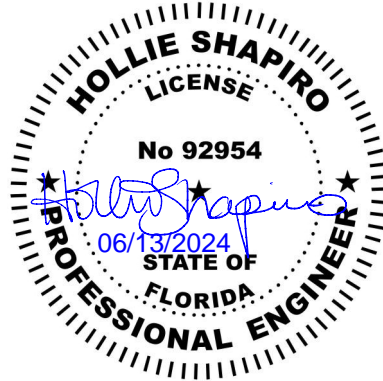
CLIENT NAME: Perdido Sun Condominium

INSPECTION BY: BECI

PROJECT ADDRESS: 13753 Perdido Key Drive, Pensacola, FL 32507

INSPECTION DATE: 11/08/2023

ENGINEER: HOLLIE SHAPIRO, P.E.



RECOMMENDED FOR PHASE 2? NO

1.1 PURPOSE OF SCOPE

The purpose of this inspection was to verify the safety and adequacy of the structural components of the building, as required by Florida Statute 553.899 and Florida Senate Bill 154. There are two possible phases of this Milestone Inspection, a Phase I Inspection and Phase II Inspection, respectively. If the building is deemed to pass Phase I by the Engineer or Architect performing the inspection, then a Phase II Inspection will not be required. If a building does not pass the first inspection phase, the building is required to undergo the second inspection phase, which will include selective destructive demolition, as deemed necessary by the Engineer or Architect.

1.2 EXECUTIVE SUMMARY

The purpose of the Phase I Milestone Inspection was to visually observe the general and typical overt and existing conditions related to the building’s structural components and components affecting the structural integrity of the building, as enumerated in Florida Statute 553.899 and Florida Senate Bill 154, including but not limited to exterior walls, cladding systems, shear walls, demising walls, common walkways, stairs, windows, columns, and Overall recommendations for the discussed anomalies have been provided in *italic font* throughout the report. We performed visual observations at all elevations of the building from the ground level, common walkways, and roof. Visual observations were performed at typical and overt conditions including common walkways, exterior walls, the main roof, and any other observable exterior concrete surfaces.

1.3 RECOMMENDED NEXT STEPS

BECI recommends that the anomalies enumerated in the Phase I Milestone Inspection report be remedied by a licensed Florida contractor within the next year (1) year, unless noted otherwise, to prevent degradation of the structural components over time.

A SENSIBLE APPROACH TO BUILDING ENCLOSURE SOLUTIONS

**Perdido Sun Condominium
Appendix A – Photo Log
Site Visit Date: 11/22/23**



Photo 1
Perdido Sun – Overall view.



Photo 4
South Elevation – Overall view of windows – Typical.



Photo 2
South Elevation – Overall view of windows, deteriorated sealants observed – Typical.



Photo 5
North Elevation – View of blistered wall coating – Isolated.



Photo 3
South Elevation – Overall view of windows, deteriorated sealants observed – Typical.



Photo 6
South Elevation – View of delaminated wall coating near balcony slab edge– Isolated.

**Perdido Sun Condominium
Appendix A – Photo Log
Site Visit Date: 11/22/23**



Photo 7
South Elevation – View of blistered wall coating near balcony slab edge– Isolated.



Photo 10
East Elevation – View of delaminated EIFS wall cladding – Isolated.



Photo 8
East Elevation – View of water damaged EIFS wall cladding – Isolated.



Photo 11
West Elevation - View of cracked and delaminated EIFS cladding – Isolated.



Photo 9
East Elevation – View of delaminated EIFS wall cladding – Isolated.



Photo 12
North Elevation - View of cracking in portecochere column – Isolated.

**Perdido Sun Condominium
Appendix A – Photo Log
Site Visit Date: 11/22/23**



Photo 13
South Elevation - View of cracked and delaminated stucco cladding – Isolated.



Photo 14
North Elevation – Common Walkway – View of minor corrosion at storage door.



Photo 15
North Elevation – Common Walkway – View of minor corrosion at storage door.